



SOPHIA STREET / WATERFRONT PLAN

PROPOSED SECTION - ELEVATION ALONG CHARLOTTE STREET
(LOOKING NORTH)

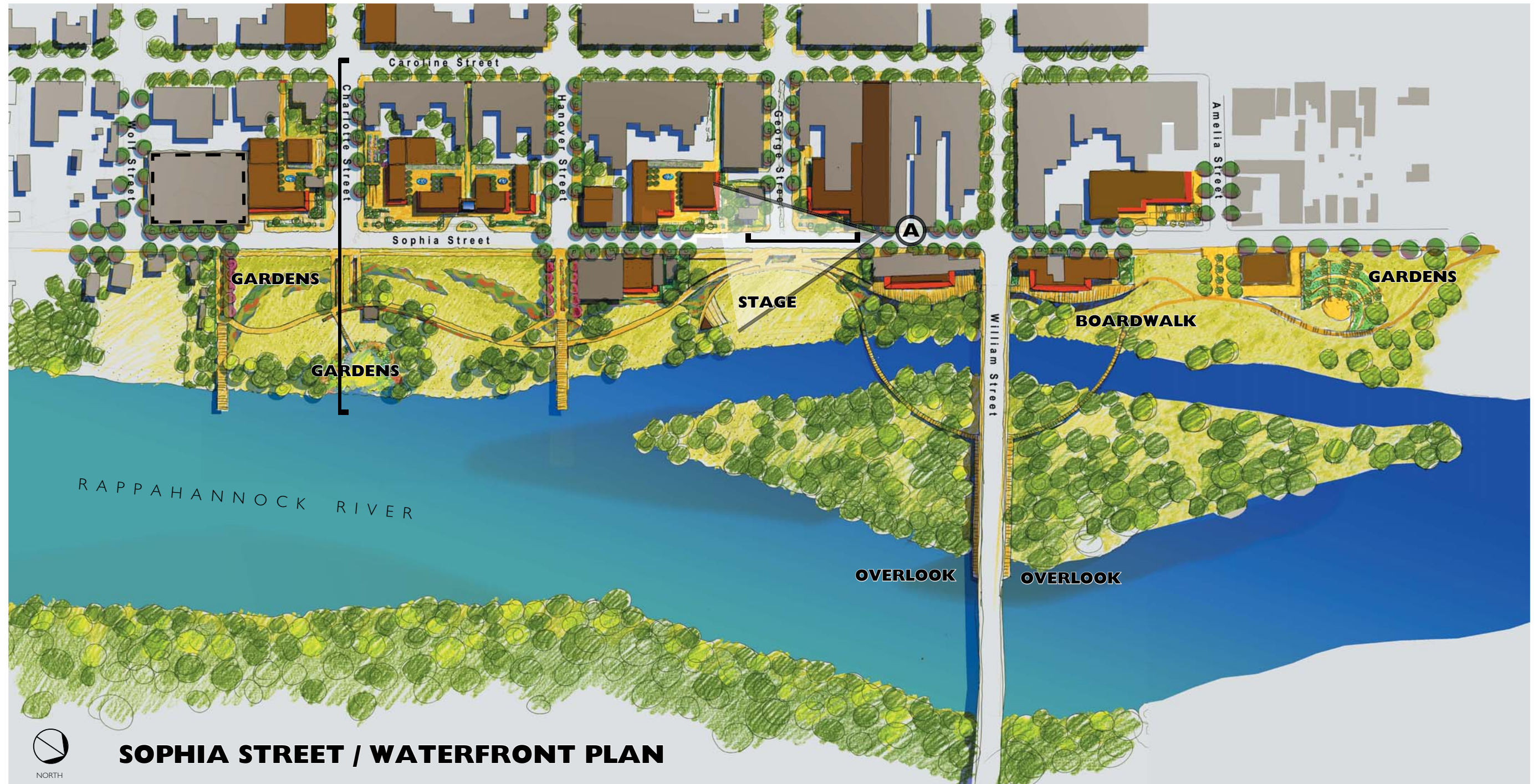


EXISTING SOPHIA STREET SECTION / ELEVATION (LOOKING NORTH)







PROPOSED SECTION / ELEVATION -

ALONG SOPHIA STREET AT END OF GEORGE STREET (LOOKING WEST)



SOPHIA STREET / WATERFRONT PLAN

LEGEND

-  EXISTING STRUCTURES
-  PROPOSED STRUCTURES
-  PARKING STRUCTURES
-  SECTION / ELEVATION

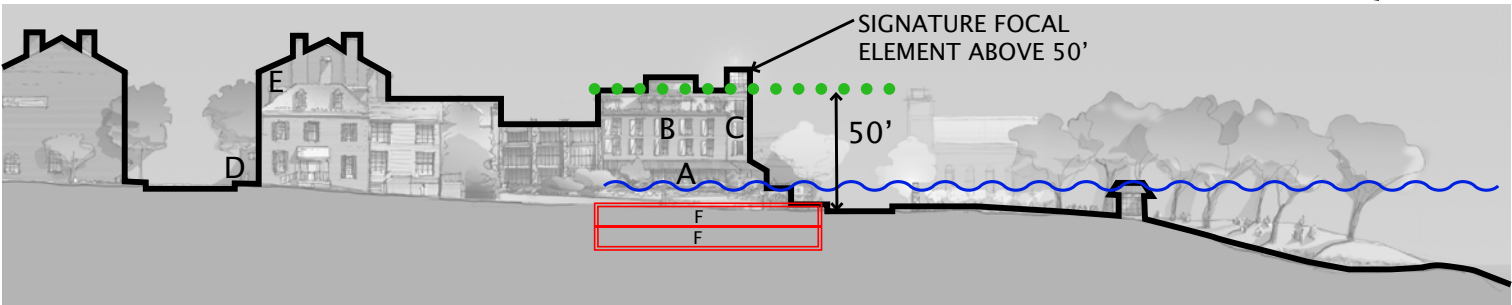
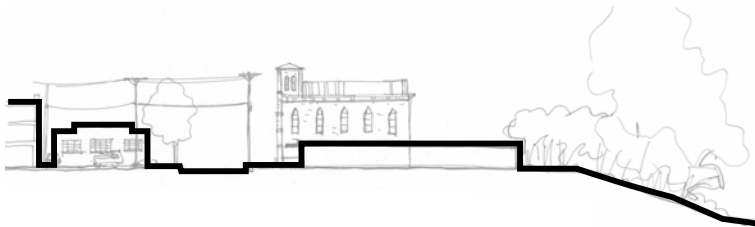


View A - SOPHIA STREET / WATERFRONT
EXISTING VIEW



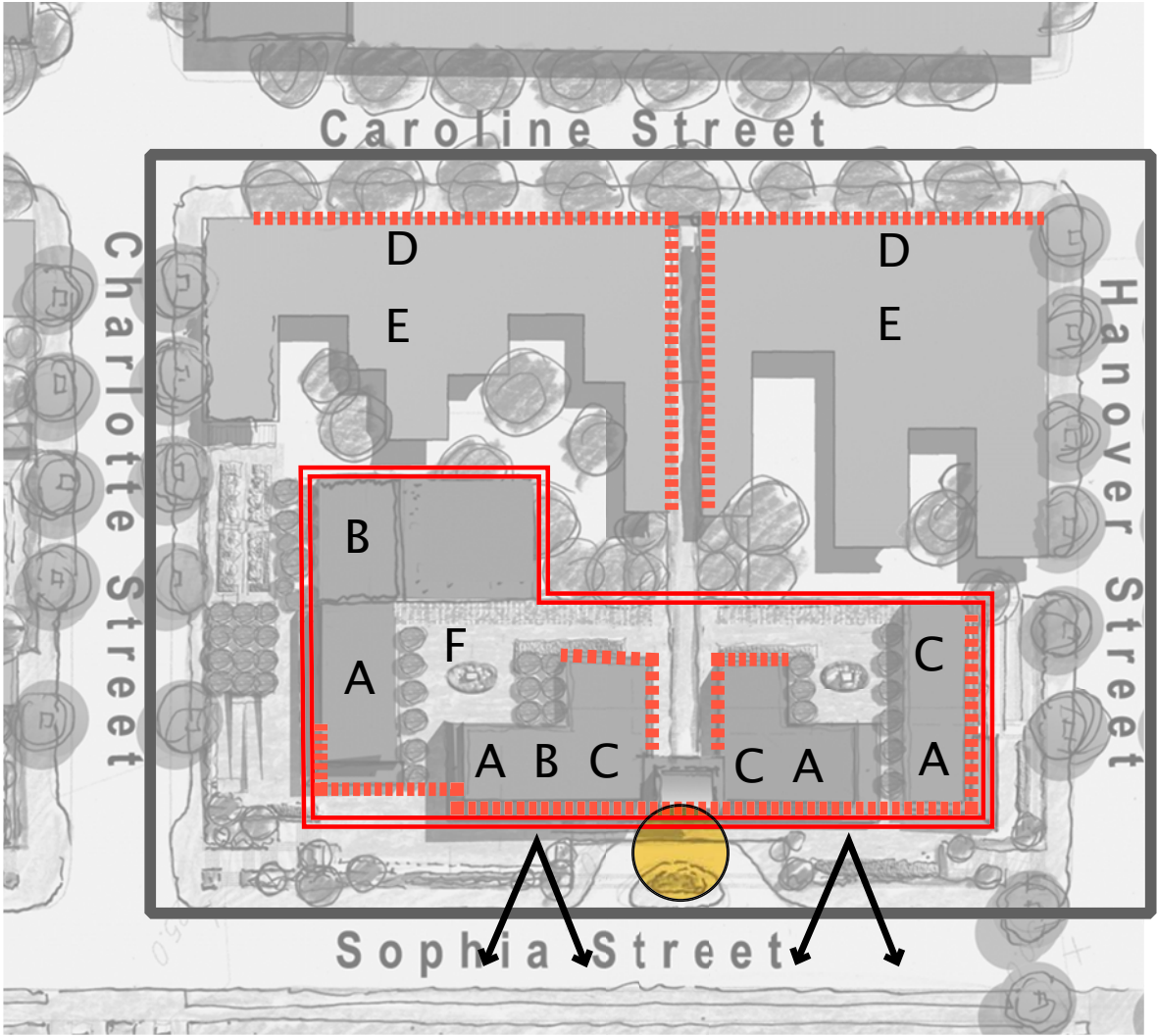
View A - SOPHIA STREET / WATERFRONT
POSSIBLE VIEW

SOPHIA WATERFRONT – EXISTING

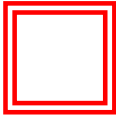





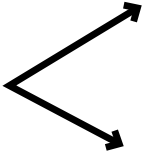




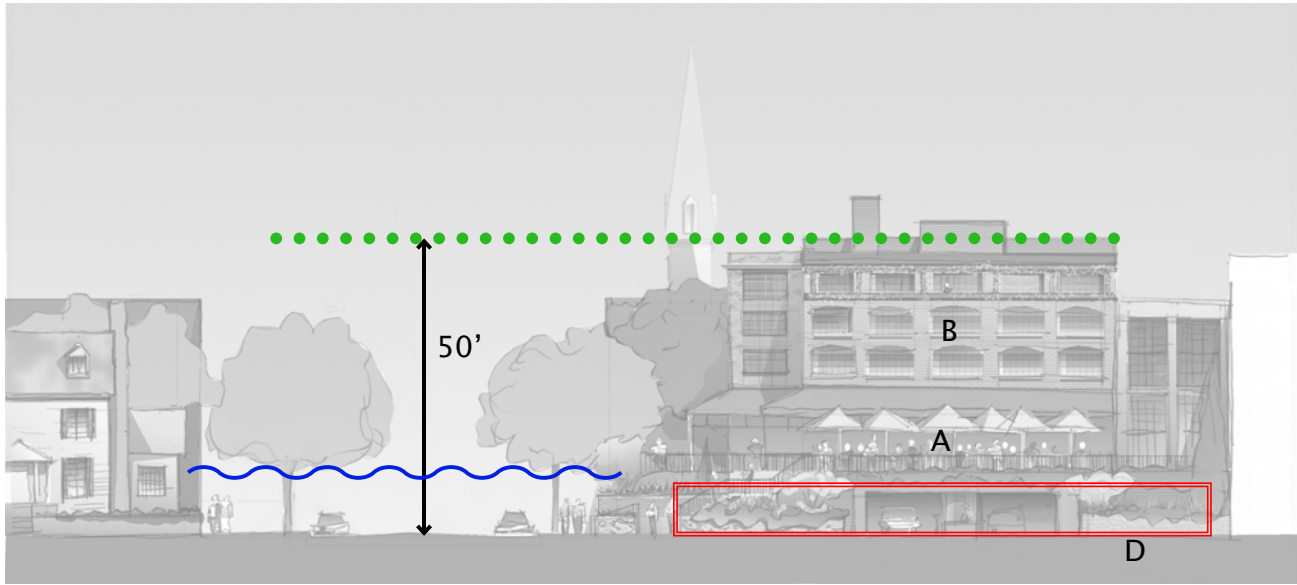
SOPHIA WATERFRONT – PROPOSED

Plan Symbol	Corridor Name:	Sophia Waterfront									
	Sub Area Name:	Entire Block									
	Term:	Long Term									
	Use	Building Type	Footprint Area	Total Floors	Use Location	Use Area as Gross Square Feet	Residential Units @ 1/1500 GSF	Parking Requirement	Parking Quantity Required	Parking Type	Drop Off Provided
A	Promenade Level Retail	Mixed Use Infill (Facing Internal Drive)	17,000	1.0	Promenade Floor	17,000	NA	1space per 250 GSF	68	Basement Structure Beneath Promenade Level	On Sophia
B	Upper Floor Residential Condominiums	Mixed Use Infill	8,600	2.0	2 Upper Floors	17,200	12	1.5 sp per dwelling unit	17	Basement Structure Beneath Promenade Level	On Sophia
C	Upper Floor Residential Condominiums	Mixed Use Infill	8,200	3.0	3 Upper Floors	24,600	16	1.5 sp per dwelling unit	24	Basement Structure Beneath Promenade Level	On Sophia
D	Retail at Caroline Street	Existing Historic Structures	24,000	1.0	Ground Floor Retail	24,000	NA	1space per 250 GSF	96	Basement Structure Beneath Promenade Level	On Sophia
E	Upper Floor Residential Condominiums at Caroline Street	Existing Historic Structures	19,000	1.0	Upper Floors	19,000	13	1.5 sp per dwelling unit	19	Basement Structure Beneath Promenade Level	On Sophia
	Totals		25,600			34,200	12		224		
	Parking Provided										
F	Basement Structure Beneath Promenade Level		33,700	2.0		67,400		1 space per 300 GSF	225		
	Total								225		



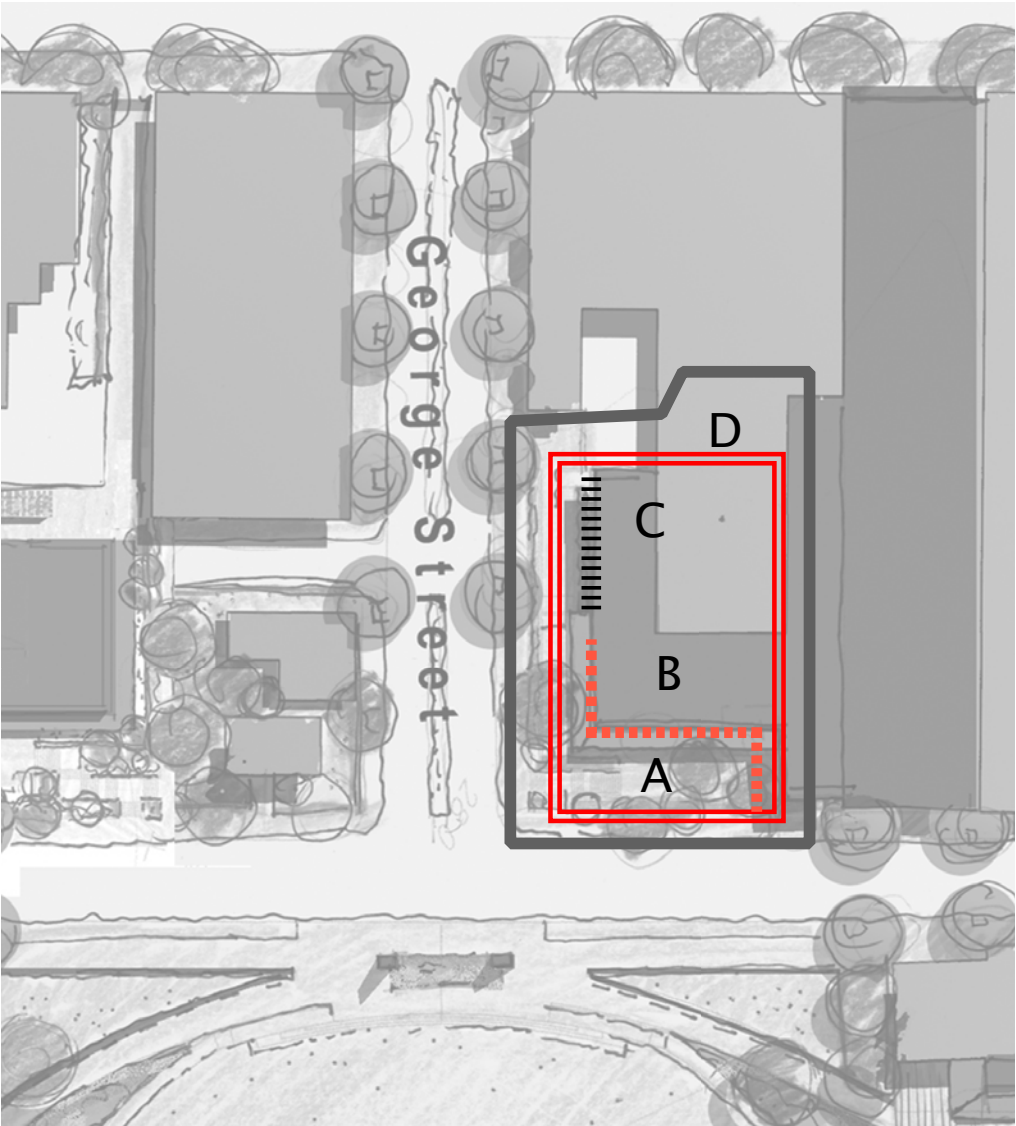
LEGEND

-  STRUCTURED PARKING
-  DROP OFF AREA
-  RETAIL EDGE
-  SECTION LINE
-  ANALYSIS AREA
-  FINISH FLOOR REQUIREMENT FOR FLOOD HAZARD INSURANCE
-  VIEWS TO ESTABLISH
-  FIFTY FOOT BUILDING HEIGHT
-  EXISTING / PROPOSED URBAN PROFILE



SOPHIA AT GEORGE STREET – PROPOSED

Plan Symbol	Corridor Name:	Sophia Waterfront at George St.									
	Sub Area Name:	At Intersection of George St.									
	Term:	Short Term									
	Use	Building Type	Footprint Area	Total Floors	Use Location	Use Area as Gross Square Feet	Residential Units @ 1/1500 GSF	Parking Requirement	Parking Quantity Required	Parking Type	Drop Off Provided
A	Promenade Level Retail	Mixed Use Infill (Includes Historic Theater)	3,000	1	Promenade Level	3,500	NA	1 space per 250 GSF	12	Basement Parking	No
B	Residential Facing Sophia Street	Mixed Use Infill (Includes Historic Theater)	10,300	2.5	Upper Floors	25,700	17.0	1.5 sp per dwelling unit	26	Basement Parking	No
C	Residential Lobby	Mixed Use Infill (Includes Historic Theater)	3,500	1	Promenade Level	3,500	NA	For Residential Staff	2	Basement Parking	No
	Totals					25,700	17		40		
	Parking Provided										
D	Basement Parking		12,000	1.0		12,000		1 space per 300 GSF	40		
	Total								40		



SOPHIA AT GEORGE STREET – PROPOSED DETAIL PLAN

LEGEND

 STRUCTURED PARKING

 RETAIL EDGE

 ANALYSIS AREA

 RESIDENTIAL EDGE

 FINISH FLOOR REQUIREMENT FOR FLOOD HAZARD INSURANCE

 FIFTY FOOT BUILDING HEIGHT

 EXISTING / PROPOSED URBAN PROFILE